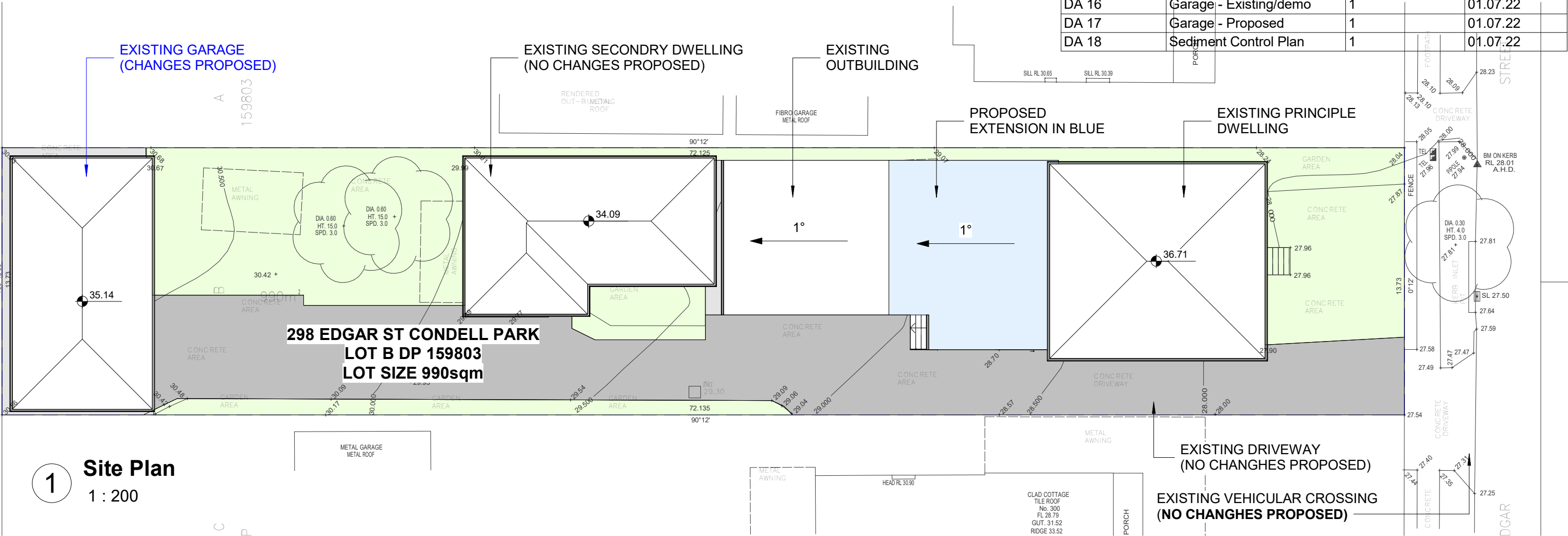
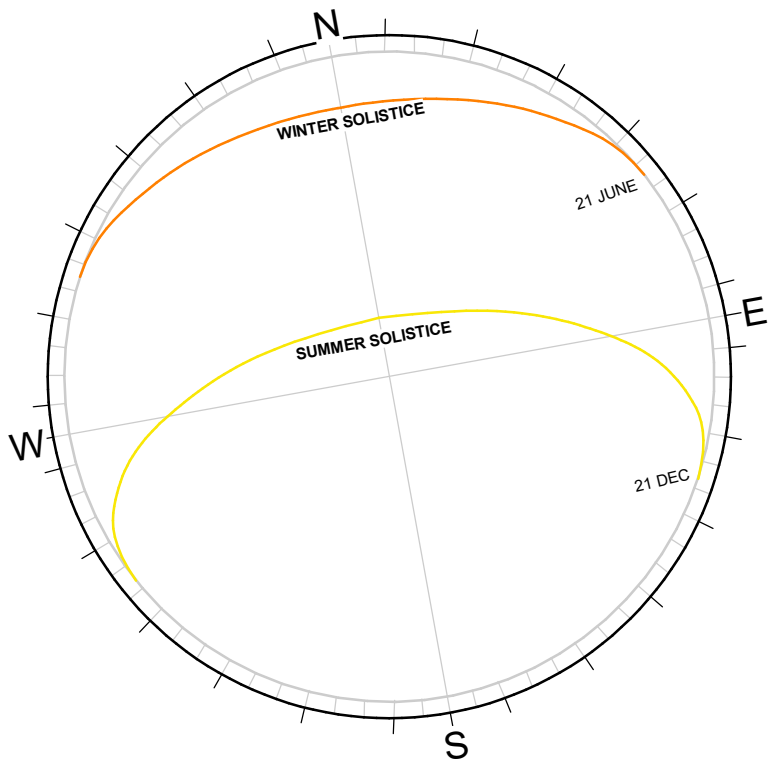


298 Edgar Street Condell Park, NSW

ALLTERATIONS AND ADDITIONS

DA Drawing List

Sheet Number	Sheet Name	Current Revision	Revision Date
DA 01	Site Plan	1	01.07.22
DA 02	Overall Plans	1	01.07.22
DA 03	Existing Ground Floor Plan	1	01.07.22
DA 04	Proposed Ground Floor	1	01.07.22
DA 05	First Floor Plan	1	01.07.22
DA 06	Roof Plan	1	01.07.22
DA 07	Elevations	1	01.07.22
DA 08	Elevations	1	01.07.22
DA 09	Sections	1	01.07.22
DA 10	FSR Calculations	1	01.07.22
DA 11	Landscape Plan	1	01.07.22
DA 12	Finishes Schedule	1	01.07.22
DA 13	Basix	1	01.07.22
DA 14	Shadow Diagrams	1	01.07.22
DA 15	Garage Elevations	1	01.07.22
DA 16	Garage - Existing/demo	1	01.07.22
DA 17	Garage - Proposed	1	01.07.22
DA 18	Sediment Control Plan	1	01.07.22



1 Site Plan
1 : 200

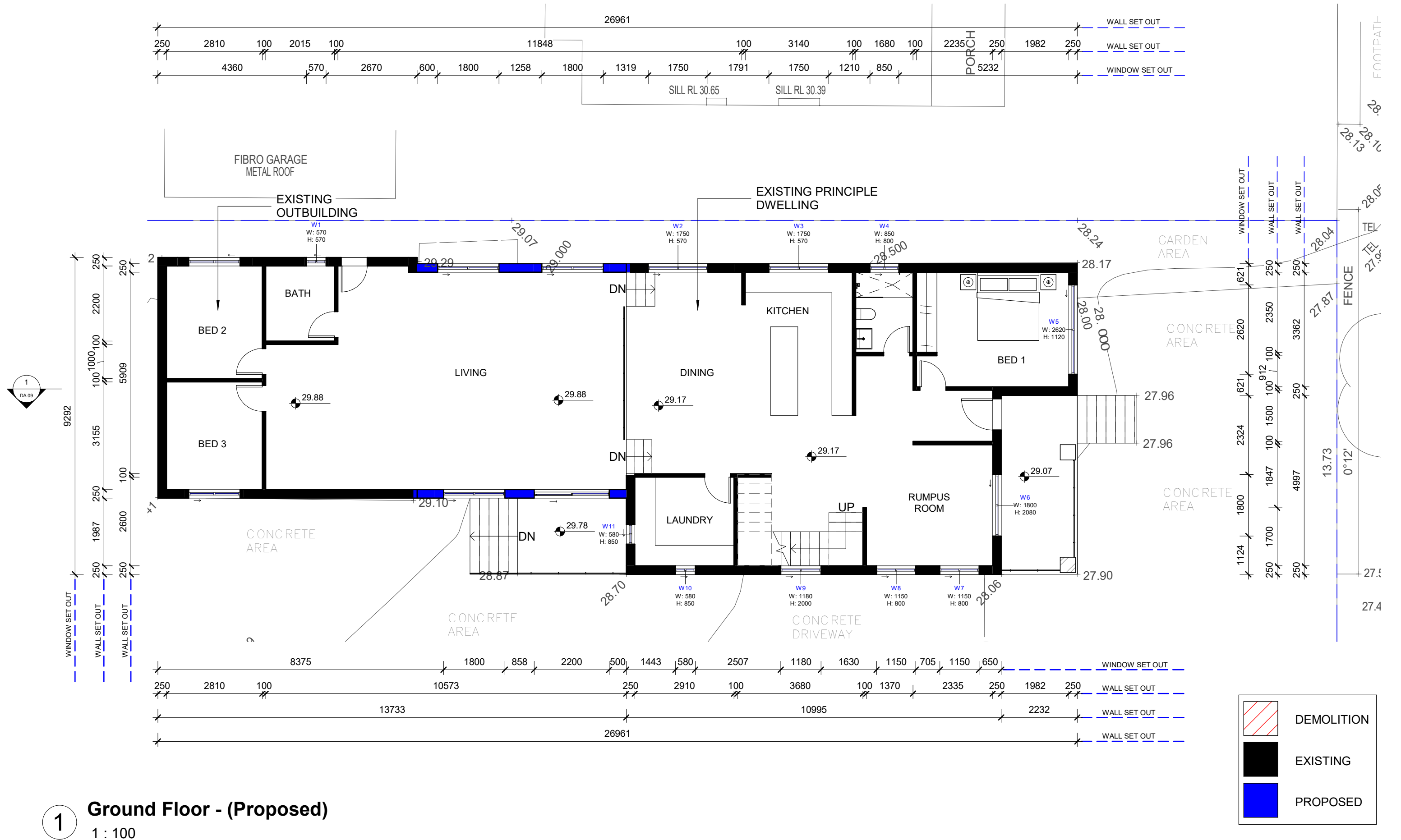


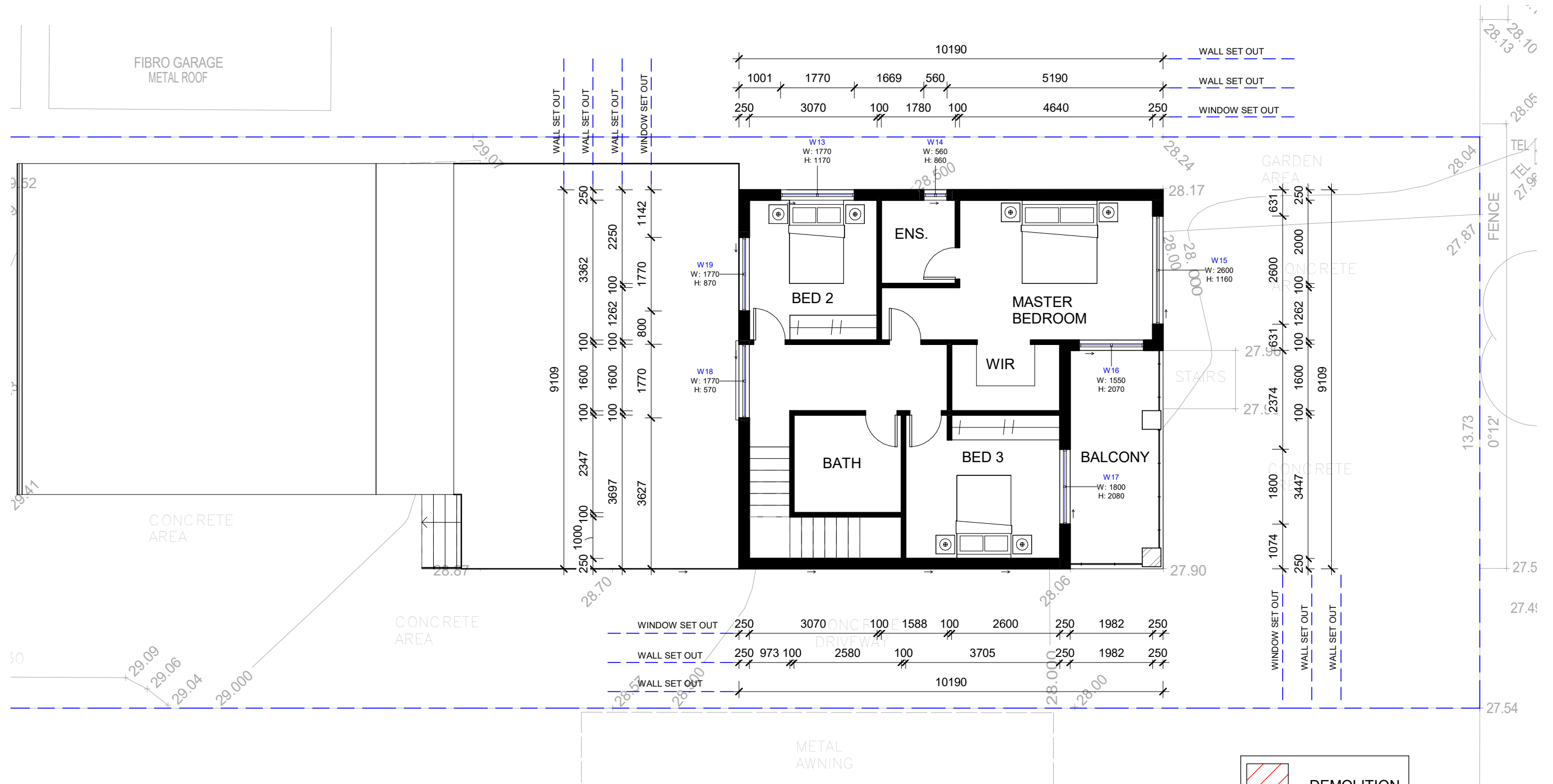
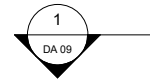
BDAA Accreditation Number: 6614
Class 2 Registration Number: DEP0001004
P: 0448 923 373
E: info@astleyhomes.com.au

REVISIONS	ISSUE	DATE	DESCRIPTION	BY
1	1	01.07.22	ISSUED FOR DEVELOPMENT APPLICATION	K.H.

PROJECT TITLE
PROJECT ADDRESS
123 Smith St Sydney, NSW 2200
NOTES
Dimensions - Contractors to check all dimensions on site prior to commencing construction.
Do not scale from this drawing. Use given dimensions.
Copyright © This document is copyright. All rights reserved.

DRAWING TITLE
Site Plan
DRAWING NO.
DA 01
DATE OF ISSUE
01.07.22
REVISION NO.
1
DRAWING SCALE
1 : 200
TRUE NORTH
SHEET SIZE
A3
ISSUED FOR DEVELOPMENT APPLICATION

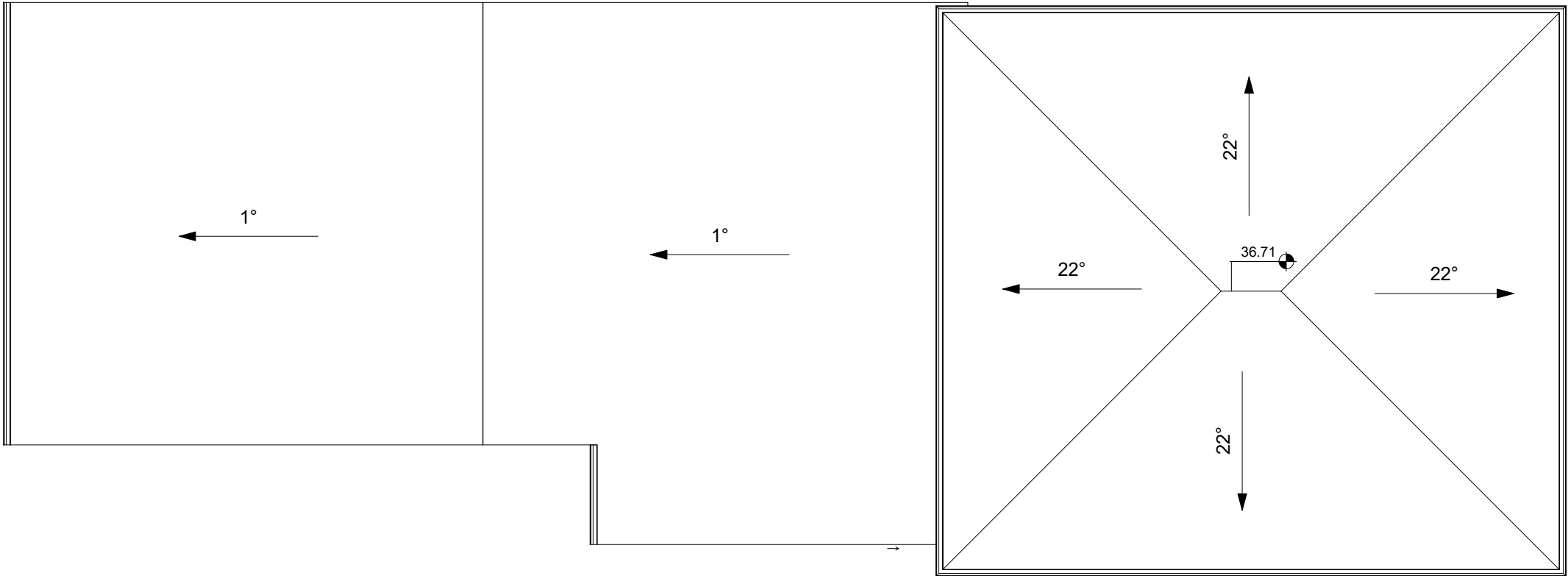
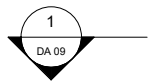




1 Level 1 - DA
1 : 100

NO CHANGES
MADE

	DEMOLITION
	EXISTING
	PROPOSED



1

Roof Plan - DA

1 : 100



BDAA Accreditation Number: 6614
Class 2 Registration Number: DEP0001004

P: 0448 923 373
E: info@astleyhomes.com.au

REVISIONS			
ISSUE	DATE	DESCRIPTION	BY
1	01.07.22	ISSUED FOR DEVELOPMENT APPLICATION	K.H.

PROJECT TITLE

PROJECT ADDRESS

123 Smith St Sydney, NSW 2200

NOTES

Dimensions - Contractors to check all dimensions on site prior to commencing construction.
Do not scale from this drawing. Use given dimensions.
Copyright © This document is copyright. All rights reserved.

DRAWING TITLE

Roof Plan

DRAWING NO.

DA 06

DATE OF ISSUE

01.07.22

REVISION NO.

1

DRAWING SCALE

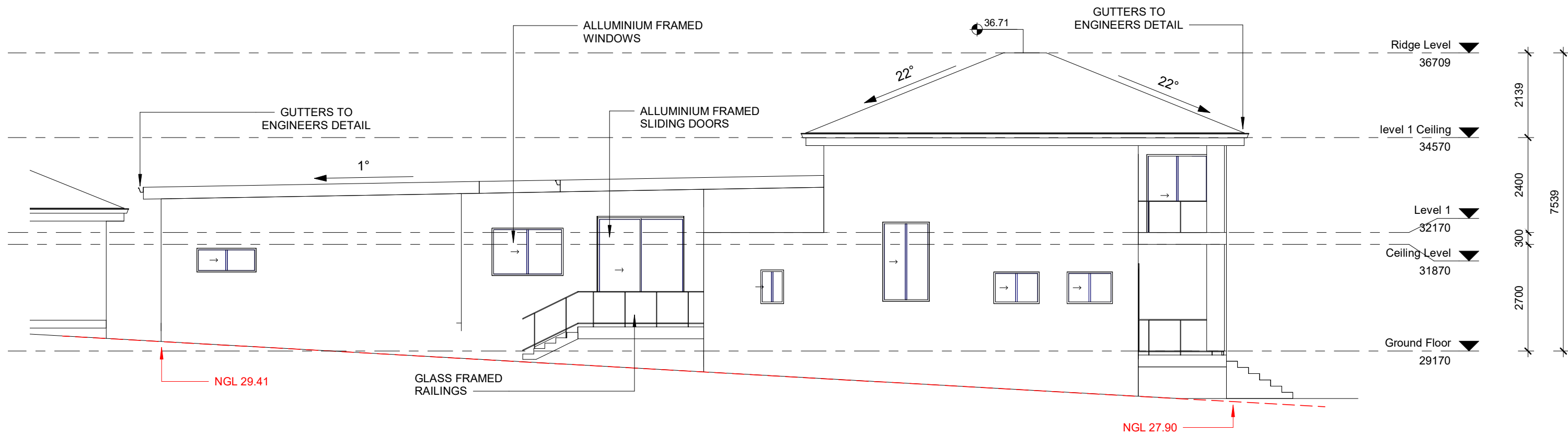
1 : 100

TRUE NORTH

SHEET SIZE

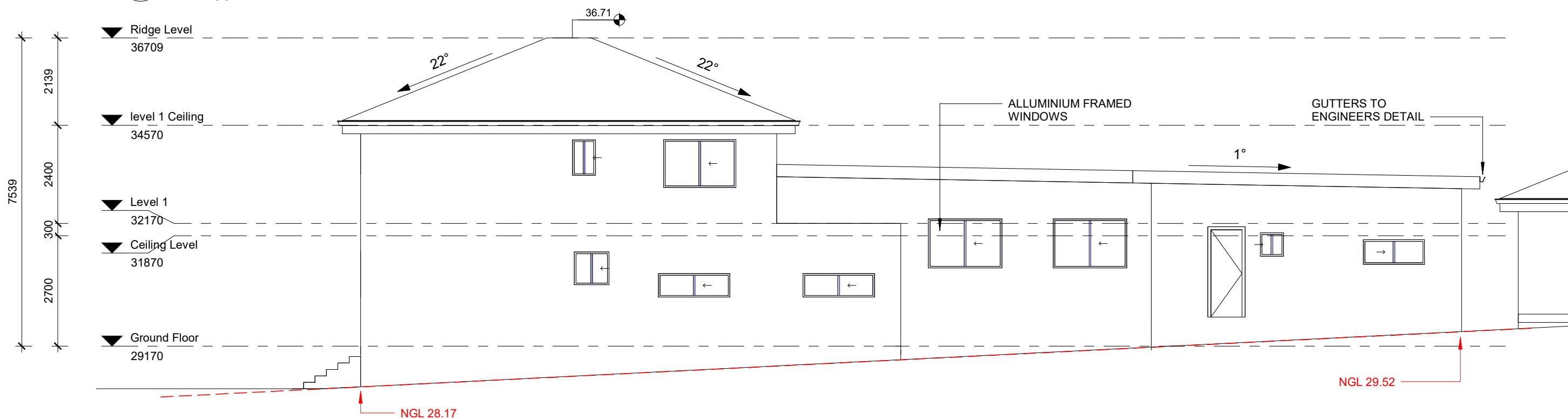
A3

ISSUED FOR DEVELOPMENT APPLICATION



1 South Elevation

1 : 100



2 North Elevation

1 : 100

ASTLEY HOMES



BDAA Accreditation Number: 6614
Class 2 Registration Number: DEP0001004

P: 0448 923 373
E: info@astleyhomes.com.au

REVISIONS			
ISSUE	DATE	DESCRIPTION	BY
1	01.07.22	ISSUED FOR DEVELOPMENT APPLICATION	K.H.

PROJECT TITLE
PROJECT ADDRESS
123 Smith St Sydney, NSW 2200

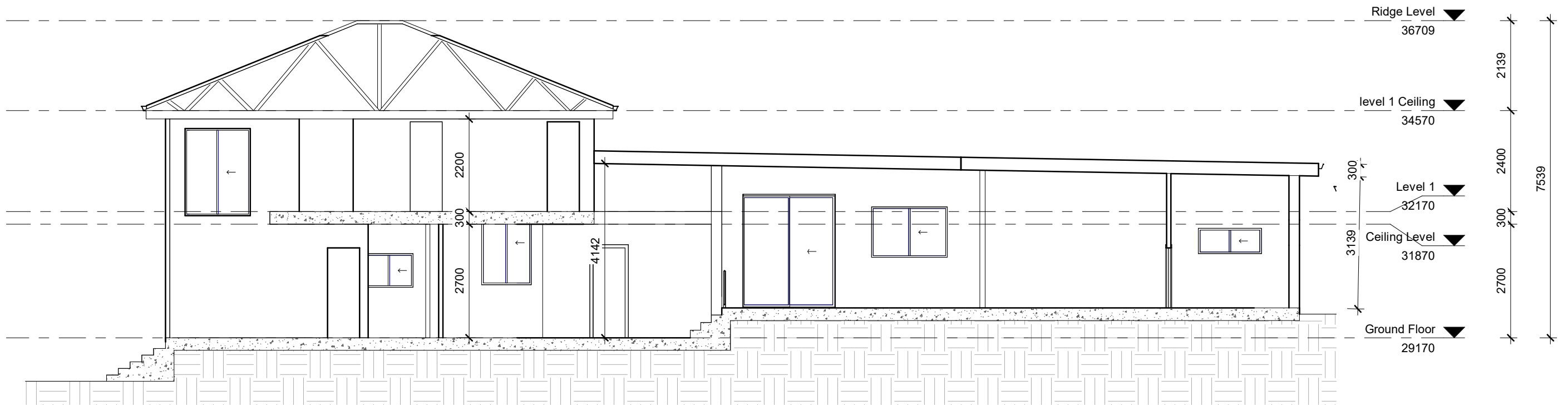
NOTES
Dimensions - Contractors to check all dimensions on site prior to commencing construction.
Do not scale from this drawing. Use given dimensions.
Copyright © This document is copyright. All rights reserved.

DRAWING TITLE
Elevations
DRAWING NO.
DA 08
DATE OF ISSUE
01.07.22

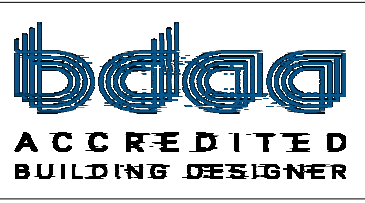
REVISION NO.
1
DRAWING SCALE
1 : 100

SHEET SIZE
A3

ISSUED FOR DEVELOPMENT APPLICATION



1 Section 1
1 : 100



BDAA Accreditation Number: 6614
Class 2 Registration Number: DEP0001004

P: 0448 923 373
E: info@astleyhomes.com.au

REVISIONS			
ISSUE	DATE	DESCRIPTION	BY
1	01.07.22	ISSUED FOR DEVELOPMENT APPLICATION	K.H.

PROJECT TITLE

PROJECT ADDRESS
123 Smith St Sydney, NSW 2200

NOTES
Dimensions - Contractors to check all dimensions on site prior to commencing construction.
Do not scale from this drawing. Use given dimensions.
Copyright © This document is copyright. All rights reserved.

DRAWING TITLE
Sections

DRAWING NO.
DA 09

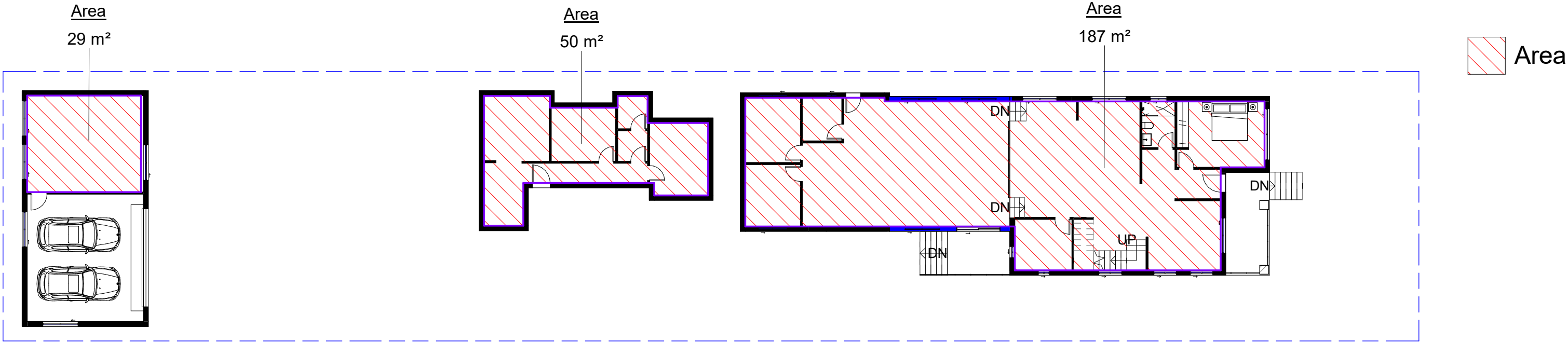
DATE OF ISSUE
01.07.22

REVISION NO.
1

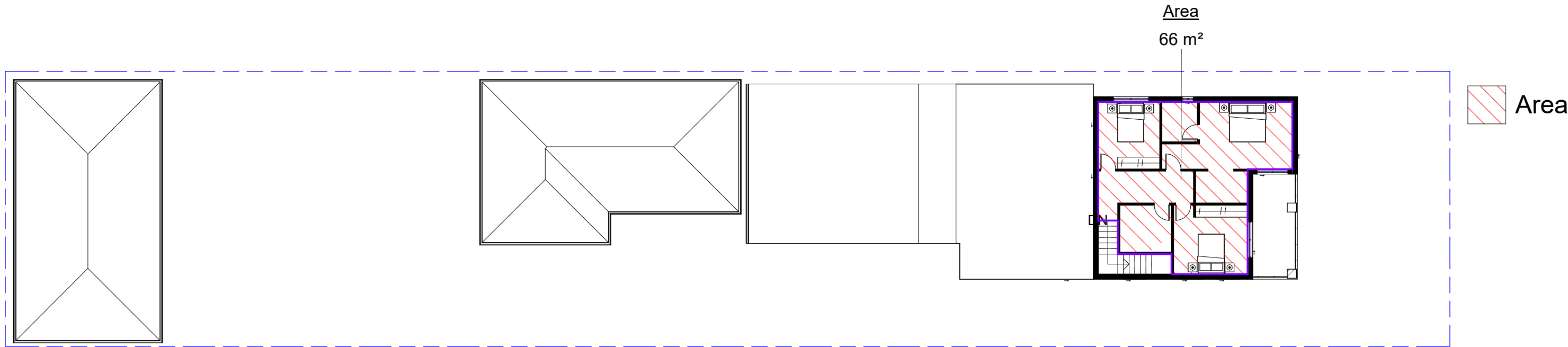
DRAWING SCALE
1 : 100

SHEET SIZE
A3

ISSUED FOR DEVELOPMENT APPLICATION

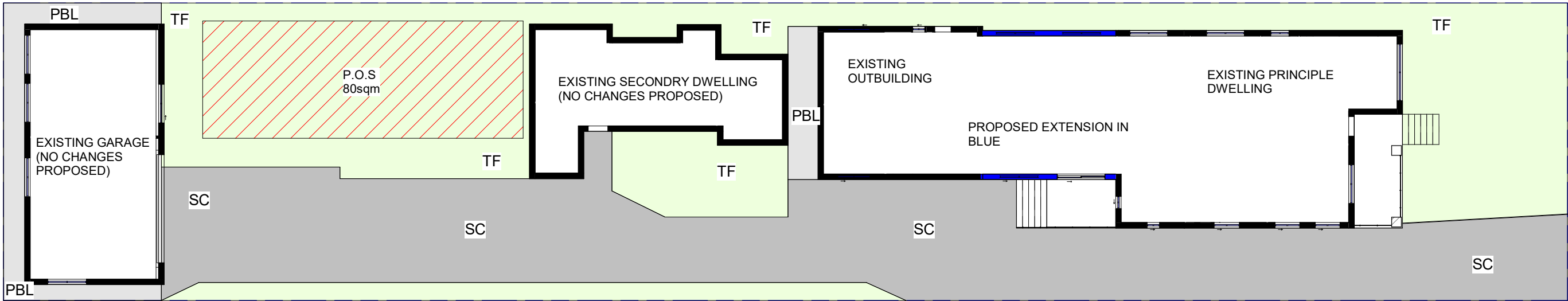


1 Ground Floor Area Plan
1 : 200



2 Level 1 Area Plan
1 : 200

FSR CALCULATION		
Site Area	Area	FSR
990 m²	332 m²	0.34
	332 m²	0.34

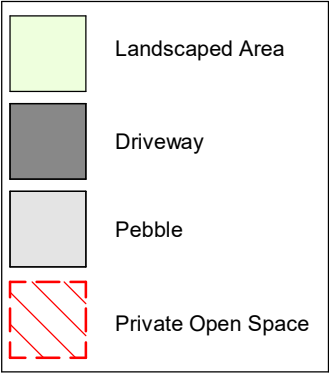


1

Landscape Plan

1 : 200

Landscape area	175sqm
Private Open Space	80sqm
Pebble Area	34sqm



SURFACE TREATMENT LEGEND

STF	Synthetic Turf
TF	Turf
GE	Garden Edge (to detail)
CL	Clothes Lines (to client requirements)
CB/TP	Colorbond / Timber Paling (1.8 high)
T	Tile (to client requirements)
RWT	Rainwater Tank (to Engineers Specifications)
PV	Pavers
PP	Water Permeable Unit Paver
SC	Stenciled Concrete (Charcoal/gunmetal)
DGR	Decomposed Granite finish
TPF	Temporary Protection Fence (1.8m chainmesh)
GVL	Gravel Surface / Path (Nepean River Pebble)
TD	Timber Deck
CP	Concrete Path
B	Bench Seat
BT	Table Bench Seating

NOTES AND SPECIFICATIONS

EXCAVATIONS
Prior to carrying out any excavations, the contractor is to confirm the locations of all services. Service pits and lids a not to be covered by any materials. Trim and grade area to form a smooth even finish.

GARDEN BED / MULCH
The topsoil to all garden bed areas shall be four (4)parts site topsoil to one (1) part organic compost thorough blended together prior to placing into position. Where the site topsoil is considered not suitable, an imported topsoil blend meeting the requirements of AS4419-1998 shall be used. Garden bed subgrades are to be cultivated to a depth of 150mm. Topsoil depths to all garden bed areas in deep soil to be 300mm (min). At the completion of all plant operations apply a 75mm layer of mulch over entire garden bed taking care not to smother plants. Reduce depth of mulch around base of plants to form "watering dish". Mulch used shall be Pine Bark Nuggets as supplied by ANL similar. All proposed planting is subject to suitable topsoil depths on site. Where there is insufficient depth due presence of bedrock or other structures, the proposed planting is to be modified to suit in accordance with instruction from landscape architect.

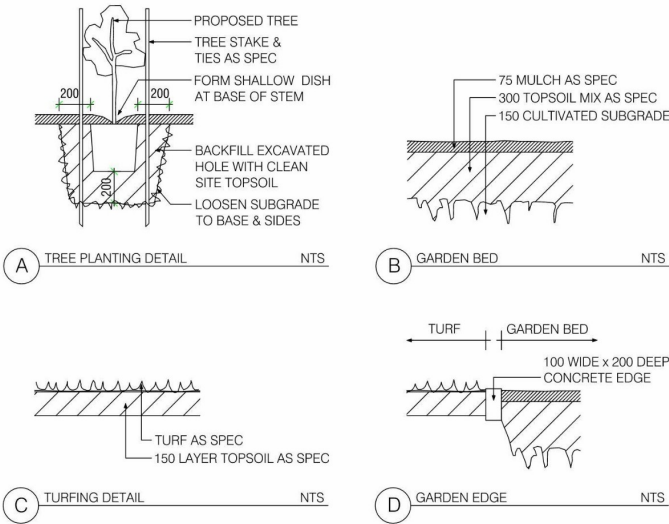
TURF / GARDEN EDGING
Turf used for this site shall be Sir Walter Buffalo or similar soft leaf variety. Unless specified otherwise, turf shall be laid over 150mm topsoil and finished flush with adjacent surfaces. Water turfed areas immediately after turfing operations. Topdress any excessively undulating areas to form a smooth level surface with a coarse grade washed river sand. All garden edging as denoted by 'GE' on the plan is to be constructed as per detail.

PLANT MATERIAL
The plants are to be healthy nursery stock, free from disease, injury, insects all weed or roots of weeds. All plants are to be thoroughly soaked 1 hour prior to planting. All plants delivered for use on site shall be fully acclimatized prevailing local Sydney conditions.

EXISTING TREES TO BE RETAINED
The existing trees indicated for retention shall be protected for the duration of the construction period. Install a 1.8m high temporary protective fence (TPF) to the locations as indicated on the plan. Do not store or otherwise place bulk or harmful materials under or near a tree which is to be retained. Do not attach stay guys and the like to a tree which is to be retained. Where it is absolutely necessary to prune tree roots / limit contractor to ensure all Council approvals have been obtained. All tree work is to be carried out by a qualified and insured arborist. Where an arborist report has been prepared for the existing tree on site; The landscape plan shall be read in conjunction with this report. All trees identified for retention shall be protected and managed according to recommendations of this report. These recommendations will take precedence over any measures outlined in the landscape plan.

MAINTENANCE / ON GOING CARE
Maintain all landscape areas to ensure plant health and occupant safety for period of 12 months beginning from date of practical completion to the satisfaction of Council. Maintenance will include but is not limited to the following activities: Mowing and edging lawn areas, fertilizing all plant material, pruning, watering, replacing failed plant material treating for pests and diseases, topping up of mulch areas and weeding garden beds as required. On completion of the initial 12 month period, all maintenance responsibilities shall be handed over to building management / property owner for on-going care. Note: All trees will require ongoing annual observation and maintenance by qualified arborist ensure occupant safety, tree health and to avoid damage to surrounding structures and property.

DISCREPANCIES
Should there be any discrepancies on the drawings with existing site conditions; contractor is to notify the landscape architect prior to proceeding with the works



PLANT SCHEDULE

Code	Plant Name	Pot Size	Mature Size	Qty
CA	Correa alba	200mm	Trim to 0.6m	18No.
DSG	Duranta 'Sheenas Gold'	200mm	Trim to 1.0m	10No.
LM	Liriope muscari	100mm	0.5m	10No.
MYO	Myoporum parvifolium	150mm	0.2m	30No.
PX	Philodendron 'Xanadu'	200mm	0.5m	12No.
TL	Tristanopsis laurina	75Litre	6.0m	1No.



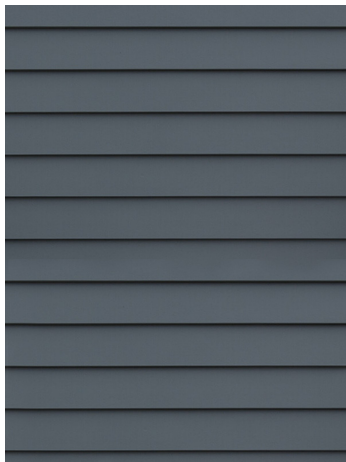
BDAA Accreditation Number: 6614
Class 2 Registration Number: DEP0001004

P: 0448 923 373
E: info@astleyhomes.com.au

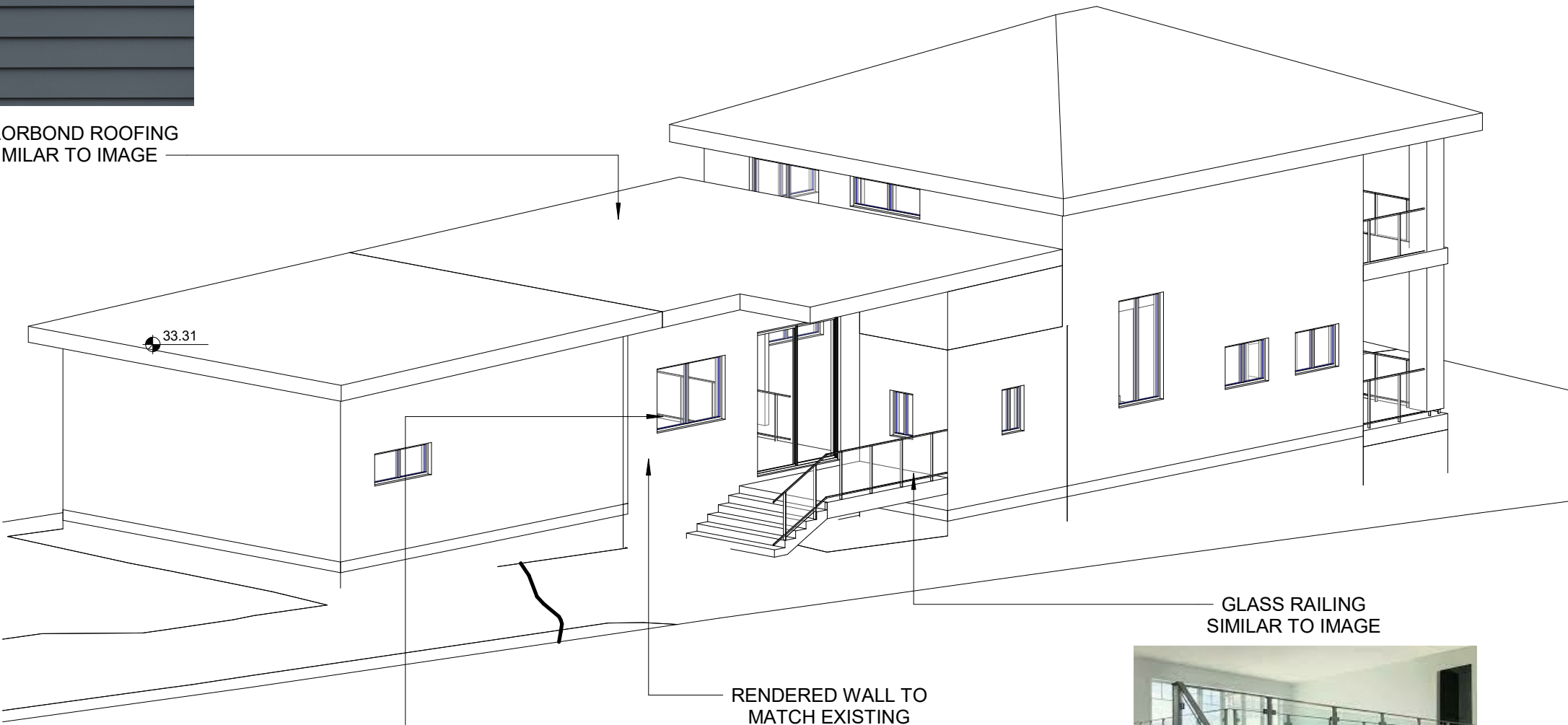
REVISIONS			
ISSUE	DATE	DESCRIPTION	BY
1	01.07.22	ISSUED FOR DEVELOPMENT APPLICATION	K.H.

PROJECT TITLE	123 Smith St Sydney, NSW 2200
PROJECT ADDRESS	
NOTES	Dimensions - Contractors to check all dimensions on site prior to commencing construction. Do not scale from this drawing. Use given dimensions. Copyright © This document is copyright. All rights reserved.

DRAWING TITLE Landscape Plan	REVISION NO. 1	TRUE NORTH
DRAWING NO. DA 11	DRAWING SCALE As indicated	SHEET SIZE A3
DATE OF ISSUE 01.07.22		
ISSUED FOR DEVELOPMENT APPLICATION		



COLORBOND ROOFING
SIMILAR TO IMAGE



ALLUMINIUM FRAMED WINDOWS
SIMILAR TO IMAGE

RENDERED WALL TO
MATCH EXISTING
SIMILAR TO IMAGE

GLASS RAILING
SIMILAR TO IMAGE



1 3D Finishes



REVISIONS			
ISSUE	DATE	DESCRIPTION	BY
1	01.07.22	ISSUED FOR DEVELOPMENT APPLICATION	K.H.

Alterations and Additions

Certificate number: A465384

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Monday, 04, July 2022
To be valid, this certificate must be lodged within 3 months of the date of issue.



Description of project

Project address	
Project name	298 Edgar St Condell Park
Street address	298 edgar Street condell park 2200
Local Government Area	Canterbury-Bankstown Council
Plan type and number	Deposited Plan 159803
Lot number	B
Section number	
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa).

Certificate Prepared by
(please complete before submitting to Council or PCA)
Name / Company Name: Astley Homes
ABN (if applicable): 90128616090

BASIX Certificate number: A465384

Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Lighting		✓	✓
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.			

page 2 / 6

BASIX Certificate number: A465384

page 3 / 6

Construction	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Insulation requirements			
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.			
Construction	Additional insulation required (R-value)	Other specifications	
concrete slab on ground floor.	nil		
external wall: brick veneer	R1.16 (or R1.70 including construction)		
flat ceiling, flat roof: framed	ceiling: R2.50 (up), roof: foil/sarking	medium (solar absorptance 0.475 - 0.70)	

Planning, Industry & Environment

Building Sustainability Index www.basix.nsw.gov.au

Planning, Industry & Environment

Building Sustainability Index www.basix.nsw.gov.au

BASIX Certificate number: A465384

BASIX Certificate number: A465384

page 4 / 6

Glazing requirements	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check		
Windows and glazed doors					
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.	✓	✓	✓		
The following requirements must also be satisfied in relation to each window and glazed door:		✓	✓		
Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.		✓	✓		
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.	✓	✓	✓		
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.		✓	✓		
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.		✓	✓		
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column in the table below.	✓	✓	✓		
Windows and glazed doors glazing requirements					
Window / door no.	Orientation	Area of glass inc. frame (m ²)	Overshadowing Height (m) Distance (m)	Shading device	Frame and glass type
W1	N	1.5	870 1770	eave/verandah/pergola/balcony ≥450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W2	N	1.5	870 1770	eave/verandah/pergola/balcony ≥450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W3	S	1.5	870 1770	eave/verandah/pergola/balcony ≥450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W4	S	1.5	870 1770	eave/verandah/pergola/balcony ≥750 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

Planning, Industry & Environment

Building Sustainability Index www.basix.nsw.gov.au

Planning, Industry & Environment

Building Sustainability Index www.basix.nsw.gov.au

page 5 / 6

BASIX Certificate number: A465384

page 6 / 6

Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a "✓" in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.

Planning, Industry & Environment

Building Sustainability Index www.basix.nsw.gov.au

ASTLEY HOMES



BDAA Accreditation Number: 6614
Class 2 Registration Number: DEP0001004

P: 0448 923 373
E: info@astleyhomes.com.au

REVISIONS			
ISSUE	DATE	DESCRIPTION	BY
1	01.07.22	ISSUED FOR DEVELOPMENT APPLICATION	K.H

PROJECT TITLE

PROJECT ADDRESS
123 Smith St Sydney, NSW 2200

NOTES
Dimensions - Contractors to check all dimensions on site prior to commencing construction.
Do not scale from this drawing. Use given dimensions.
Copyright © This document is copyright. All rights reserved.

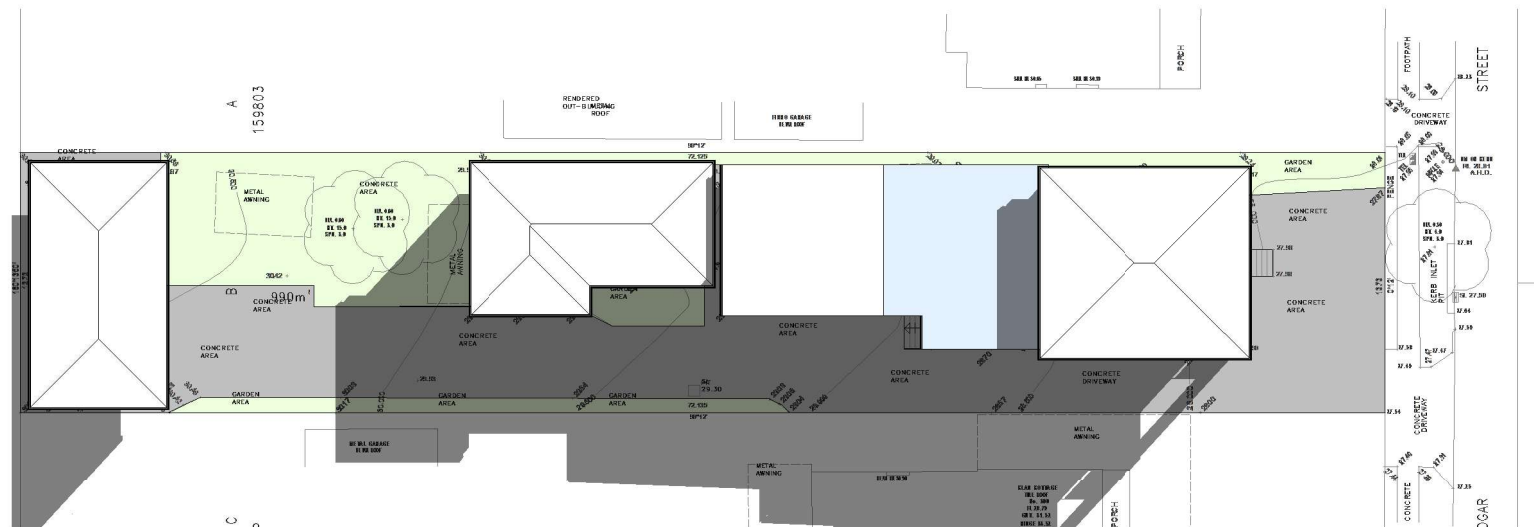
DRAWING TITLE
Basix
DRAWING NO.
DA 13
DATE OF ISSUE
01.07.22

REVISION NO.
1
DRAWING SCALE

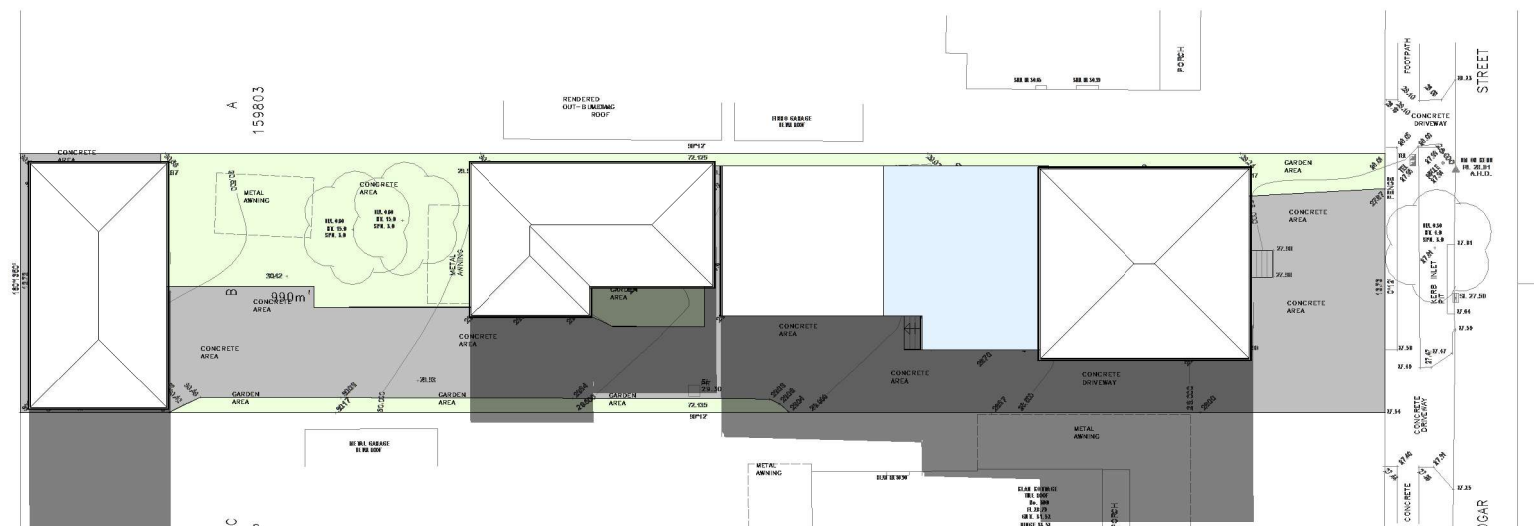
SHEET SIZE
A3

ISSUED FOR DEVELOPMENT APPLICATION

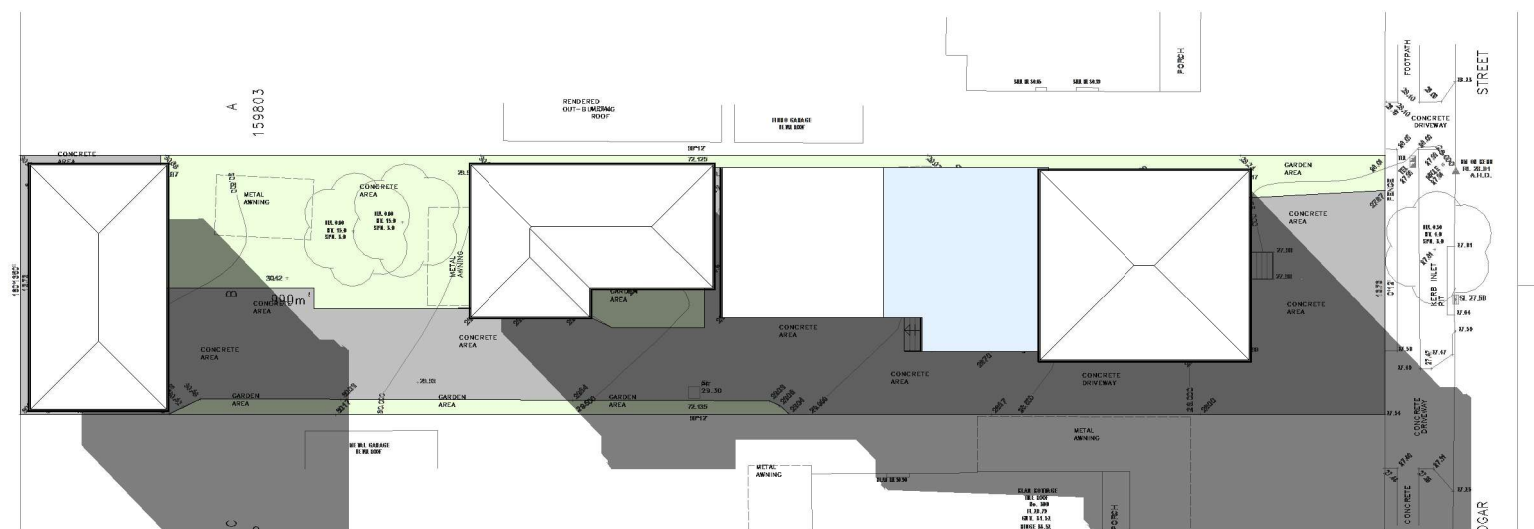
1 21st June 9am
1 : 400



2 21st June 12pm
1 : 400



3 21st June 3pm
1 : 400



ASTLEY HOMES



BDAA Accreditation Number: 6614
Class 2 Registration Number: DEP0001004

P: 0448 923 373
E: info@astleyhomes.com.au

REVISIONS			
ISSUE	DATE	DESCRIPTION	BY
1	01.07.22	ISSUED FOR DEVELOPMENT APPLICATION	K.H.

PROJECT TITLE
PROJECT ADDRESS
123 Smith St Sydney, NSW 2200

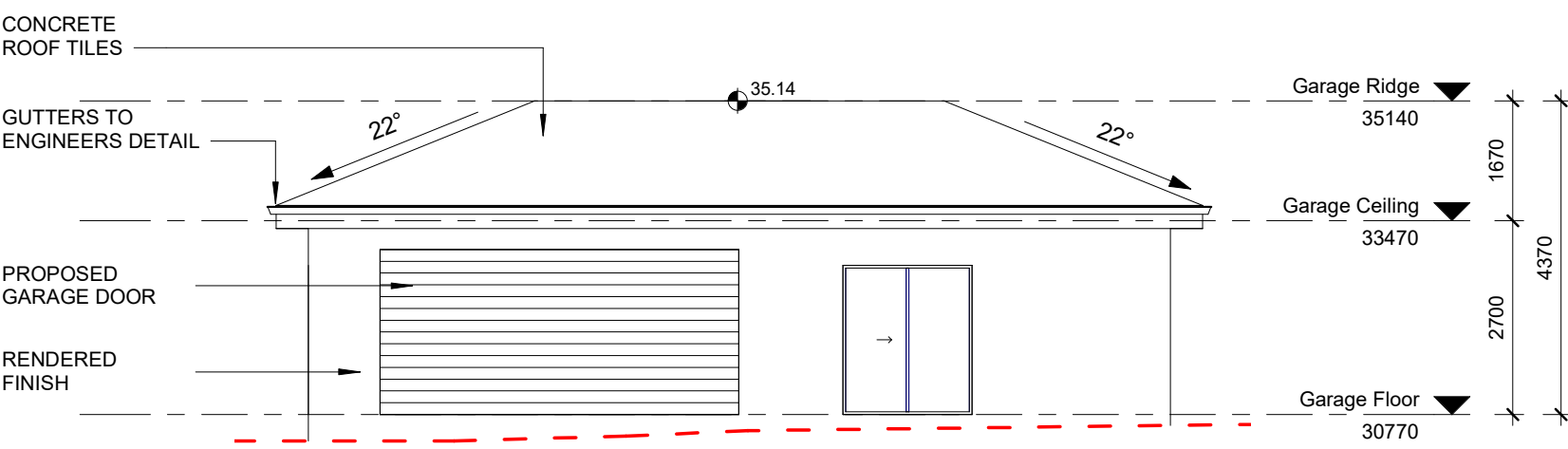
NOTES
Dimensions - Contractors to check all dimensions on site prior to commencing construction.
Do not scale from this drawing. Use given dimensions.
Copyright © This document is copyright. All rights reserved.

DRAWING TITLE
Shadow Diagrams
DRAWING NO.
DA 14
DATE OF ISSUE
01.07.22

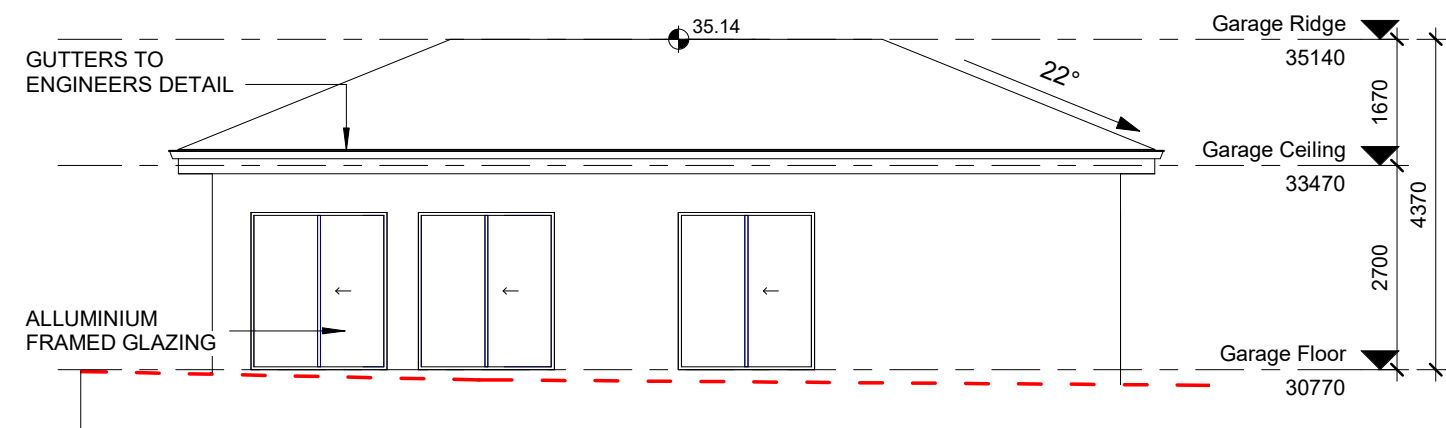
REVISION NO.
1
DRAWING SCALE
1 : 400

TRUE NORTH
SHEET SIZE
A3

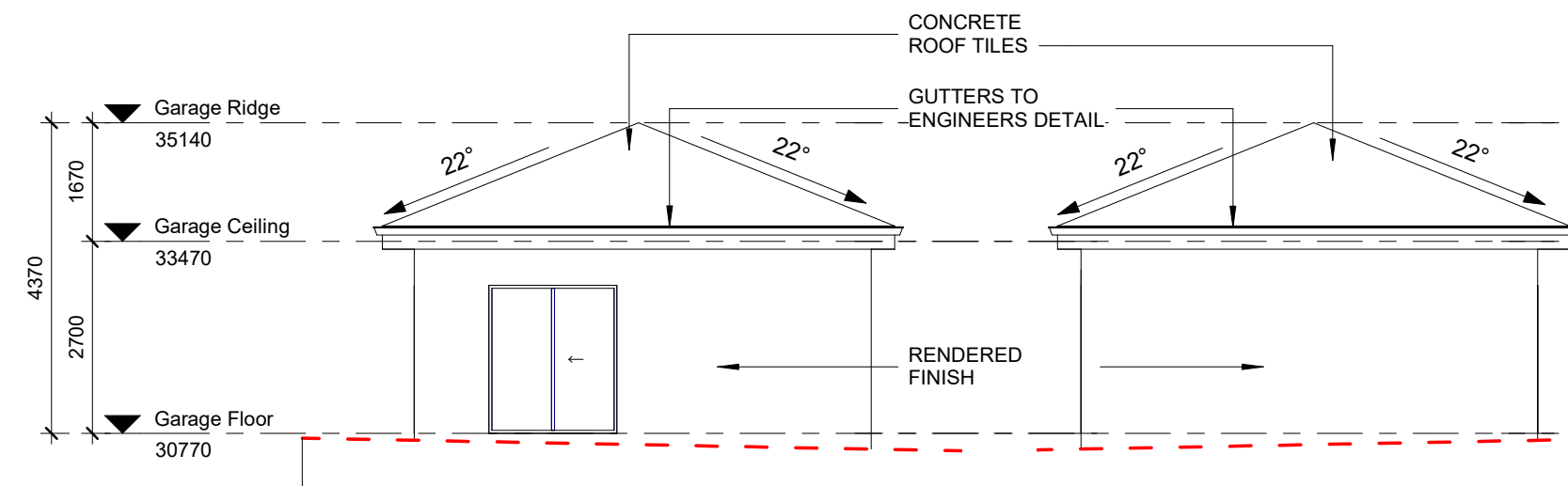
ISSUED FOR DEVELOPMENT APPLICATION



1 East Elevation (Garage)
1 : 100

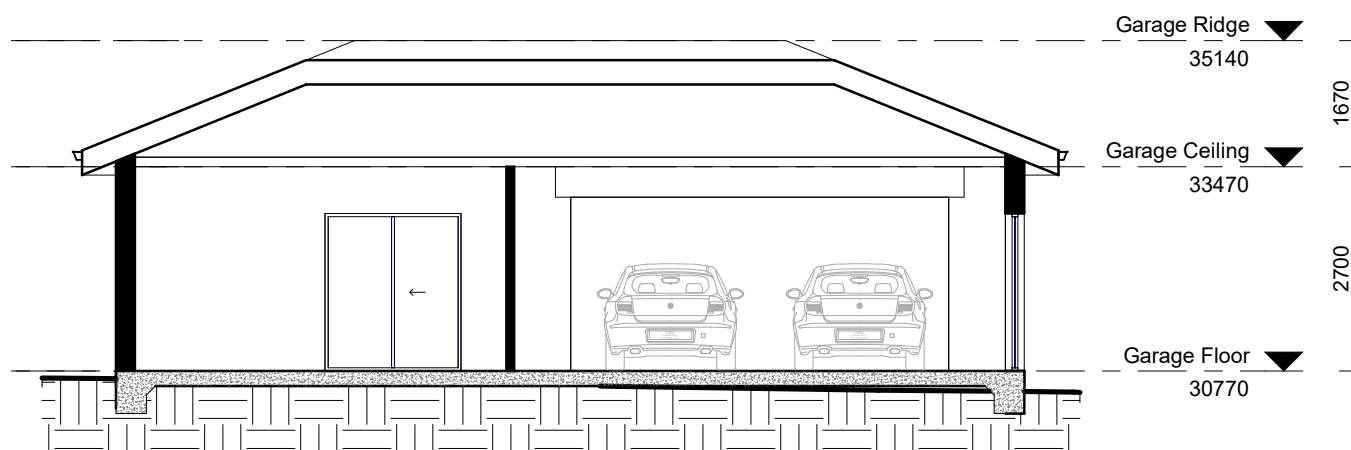


3 West Elevation (Garage)
1 : 100

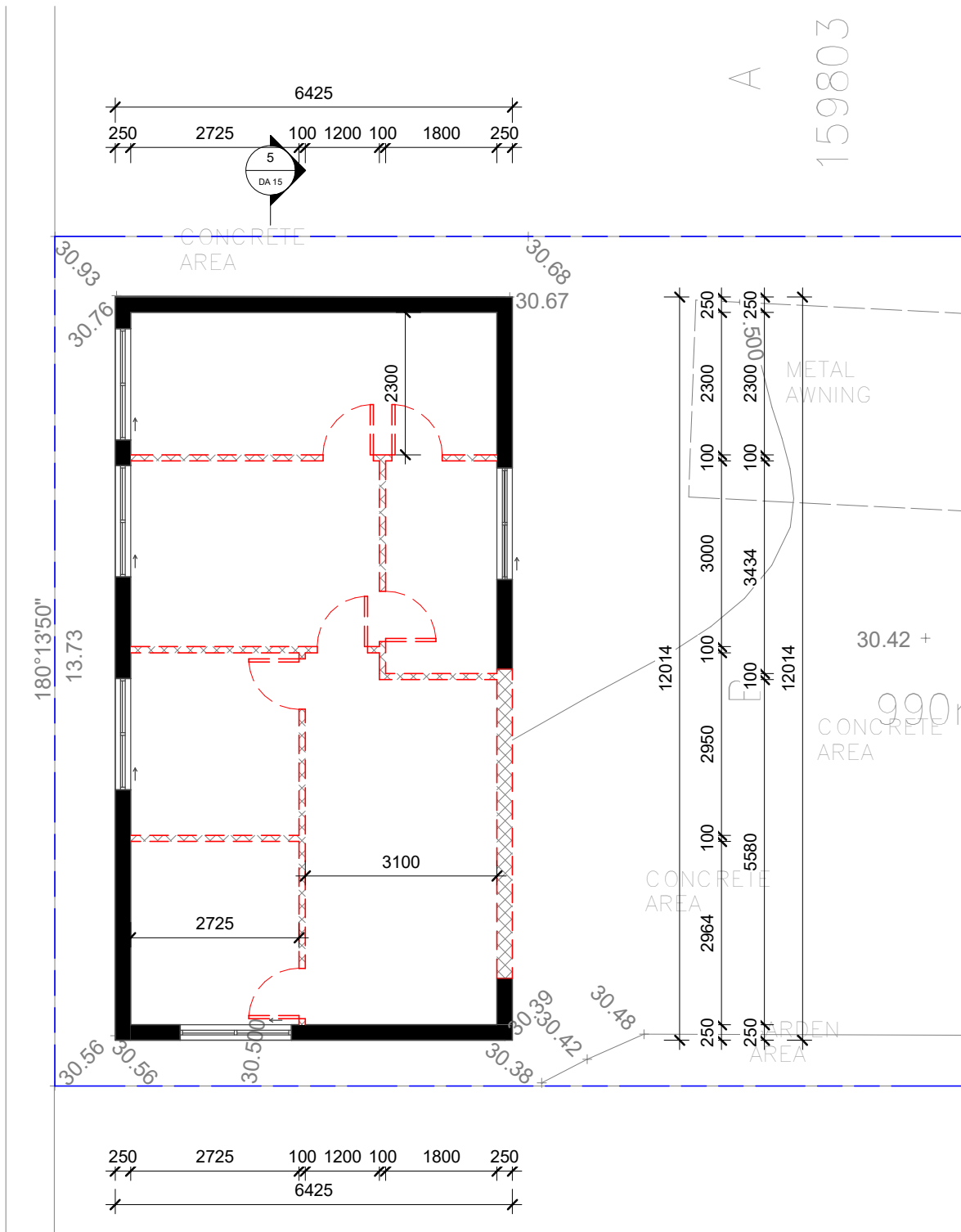
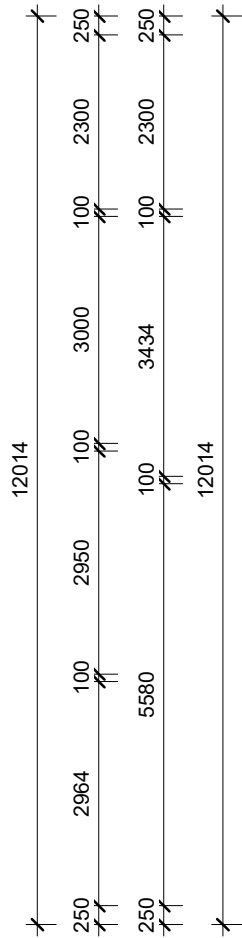


4 South Elevation (Garage)
1 : 100

2 North Elevation (Garage)
1 : 100



5 Section 2
1 : 100



1

Garage - (Existing/Demo)

1 : 100

DEMOLITION

EXISTING

PROPOSED

DESIGNER

ASTLEY HOMES

CLIENT

REVISIONS			
ISSUE	DATE	DESCRIPTION	BY
1	01.07.22	ISSUED FOR DEVELOPMENT APPLICATION	K.H.

PROJECT TITLE

PROJECT ADDRESS

123 Smith St Sydney, NSW 2200

NOTES

Dimensions - Contractors to check all dimensions on site prior to commencing construction.
Do not scale from this drawing. Use given dimensions.
Copyright © This document is copyright. All rights reserved.

DRAWING TITLE

Garage - Existing/demo

DRAWING NO.

DA 16

DATE OF ISSUE

01.07.22

REVISION NO.

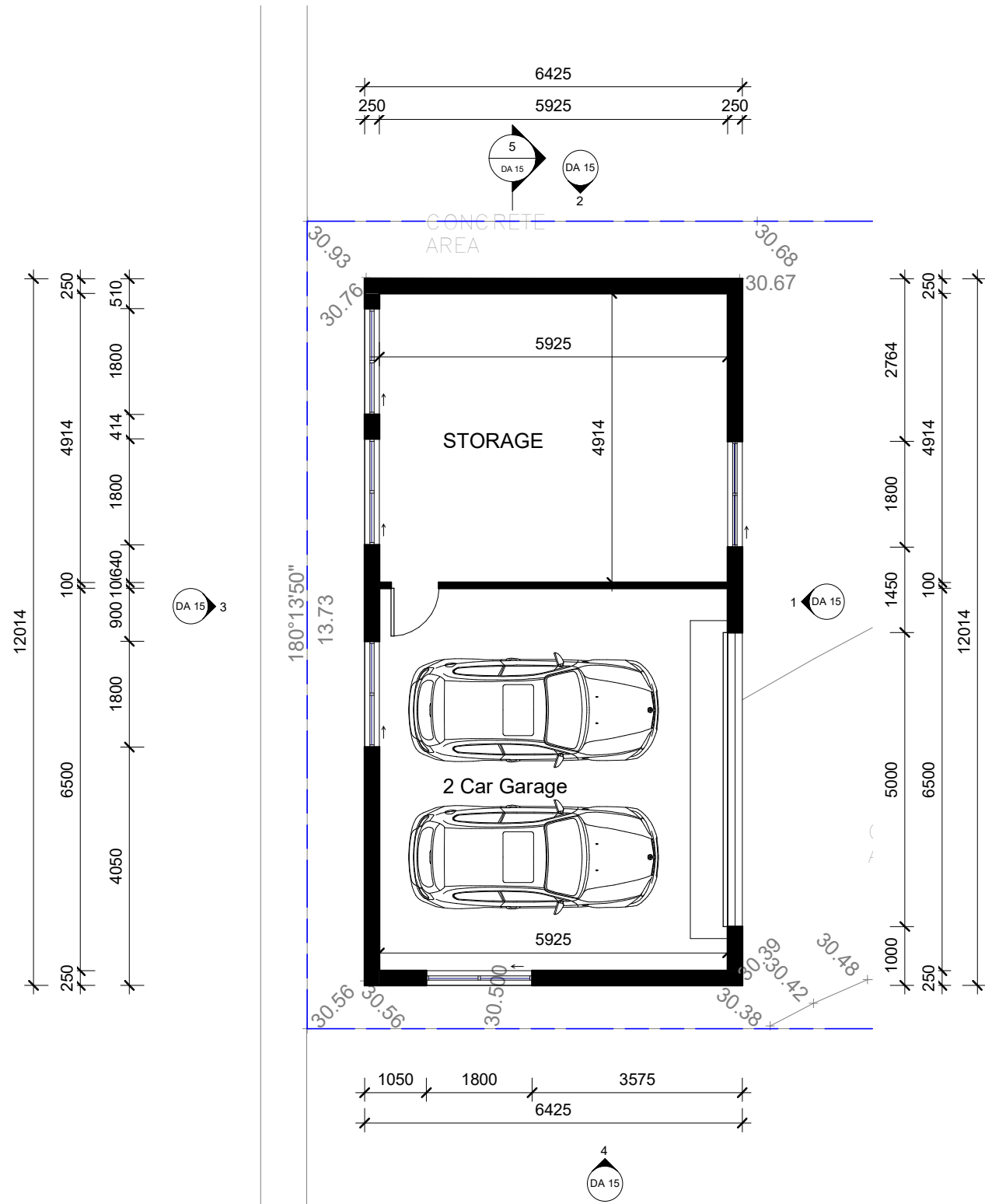
1

DRAWING SCALE

As indicated

TRUE NORTH

ISSUED FOR DEVELOPMENT APPLICATION



1 **Garage - (Proposed)**
1 : 100

DEMOLITION

EXISTING

PROPOSED

DESIGNER

ASTLEY HOMES

CLIENT

REVISIONS			
ISSUE	DATE	DESCRIPTION	BY
1	01.07.22	ISSUED FOR DEVELOPMENT APPLICATION	K.H.

PROJECT TITLE

PROJECT ADDRESS

123 Smith St Sydney, NSW 2200

NOTES

Dimensions - Contractors to check all dimensions on site prior to commencing construction.
Do not scale from this drawing. Use given dimensions.
Copyright © This document is copyright. All rights reserved.

DRAWING TITLE

Garage - Proposed

DRAWING NO.

DA 17

DATE OF ISSUE

01.07.22

REVISION NO.

1

DRAWING SCALE

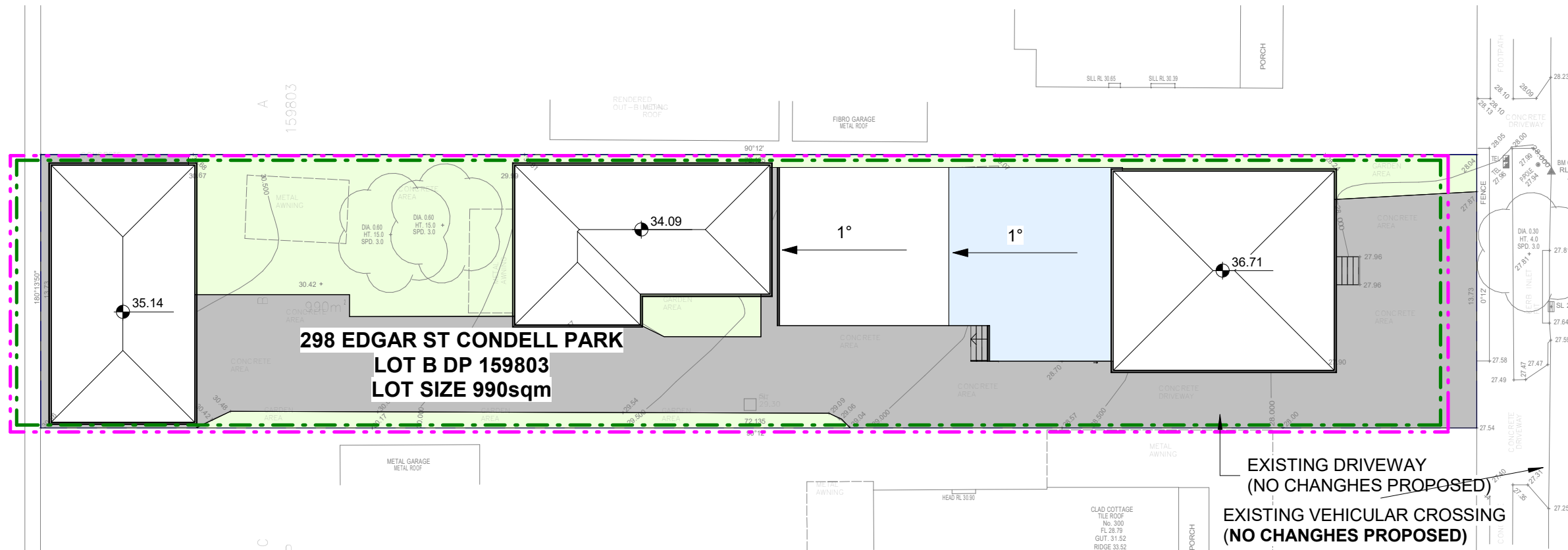
As indicated

TRUE NORTH

SHEET SIZE

A3

ISSUED FOR DEVELOPMENT APPLICATION



DUST SUPPRESSION MEASURES/ DEMOLITION:

DEMOLITION WORK TO BE CARRIED OUT IN ACCORDANCE WITH AS 2601-2001
ALL SAFETY BARRIERS AND PROTECTIVE MEASURES ARE TO BE INSTALLED PRIOR TO THE COMMENCEMENT OF WORKS
DEMOLITION WORKS TO BE CARRIED OUT IN ACCORDANCE WITH COUNCIL APPROVAL
DEMOLITION CONTRACTORS TO PROVIDE EVIDENCE OF ALL INSURANCES PRIOR TO THE COMMENCEMENT OF WORK
SAFETY AND PROTECTIVE EQUIPMENT TO BE USED IN ACCORDANCE WITH RELEVANT STATUTORY REQUIREMENTS, IT IS THE CONTRACTORS RESPONSIBILITY TO ENSURE SAFETY ON SITE
MATERIAL TO BE REMOVED BY WAY OF WASTE BINS FROM SITE AND APPROPRIATELY DISPOSED OF IN WASTE RECYCLING FACILITIES AND OR WASTE MANAGEMENT FACILITIES
PLACE GEOTECH FABRIC ALONG BOUNDARIES WHERE STRUCTURES ARE TO BE DEMOLISHED IN ORDER TO PROTECT ADJOINING PROPERTIES AND THE PUBLIC

SILT FENCES

- FILTERS SILT FROM LOW TO MEDIUM FLOWS OF SURFACE WATER ON GENTLY SLOPING OR STEEP UNEVEN TERRAIN .
- CONSIST OF A FILTER FABRIC ('GEOTEXTILE FILLER') , ATTACHED TO A STEEL WIRE OR CABLE , WHICH IS SUPPORTED ON 900mm LONG STEEL OR WOODEN POSTS AT 2.5-3m CENTRES .
- THE LOWER END OF THE FABRIC IS EMBEDDED INTO THE GROUND , AS
- GENERALLY FOLLOW THE CONTOURS OF THE LAND .

EROSION CONTROL NOTES:

1. ALL ERSION AND SEDIMENT CONTROL MEASURES TO BE INSTALLED PRIOR TO SITE DISTURBANCE AND TO BE INSPECTED AND MAINTAINED DAILY BY
2. STRIPPING OF GRASS AND VEGETATION ETC. SITE MANAGER. FROM SITE SHALL BE KEPT TO A MINIMUM.
3. TOPSOIL FROM ALL AREAS THAT WILL BE DISTURBED TO BE STRIPPED AND STOCKPILED AND TO BE KEPT CLEAR FROM DRAINS, GUTTERS
4. DRAINAGE IS TO BE CONNECTED TO STORMWATER AND FOOTPATHS. SYSTEM AS SOON AS POSSIBLE.
5. ROADS AND FOOTPATH TO BE SWEEPED DAILY
6. ALL SEDIMENT CONTROL STRUCTURES TO BE INSPECTED AFTER EACH RAINFALL EVENT FOR STRUCTURAL DAMAGE AND ALL TRAPPED SEDIMENT TO BE REMOVED TO A NOMINATED SOIL STOCKPILE.

SILTATION MANAGEMENT PROCEDURE

1. ERECT SILT FENCE & GRAVEL DRAIN
2. DEMOLISH EXISTING BUILDING
3. EXCAVATE BASEMENT AND PLACE TEMPORARY PUMPOUT SEDIMENT PIT
4. FINISH CONSTRUCTION
5. SILT FENCE AND GRAVEL DRAIN ARE NOT TO BE REMOVED UNTIL CONSTRUCTION IS COMPLETE AND GARDEN HAS BEEN FULLY RE-VEGETATED.

1 Sediment Control Plan

1 : 250

